

## HISTORIC PRESERVATION



Laundry Building

### PAGE AND TURNBULL

The Laundry Building was constructed in 1926 by the Fred Harvey Company to provide commercial laundry services for the El Tovar Hotel. Opened for use in 1927, the Laundry Building was built roughly the same time as the ATSF Power House to the east. Both buildings were designed in the same Rustic Swiss Chalet architectural vocabulary with cyclopean stone walls, brown-painted wood trim, shallow-pitched gable roofs and steel industrial sash. The east wall of the Laundry Building was intentionally left unfinished apparently in anticipation of a future addition. The Laundry Building ceased to function as a commercial laundry and has been used henceforward as a storage facility. At various points non-contributing additions were constructed around the perimeter of the building.

The Laundry Building is a contributor to the World Heritage, National Register and National Historic Landmark districts.

As part of the Grand Canyon River Heritage Museum, we would be removing the later non-contributing additions, restoring damaged and missing features to match existing and focusing new construction on the 'unfinished' east side of the building.

The building was well constructed and is in good condition overall but will require rehabilitation of deferred maintenance features such as stone repair and repointing, wood repair and replacement and selective steel window replacement. The interior rehabilitation will include removal of later non-contributing partitions to reveal the original open volume with exposed steel trusses and laundry track.

# GRAND CANYON RIVER HERITAGE MUSEUM EXTERIOR SELECTIVE DEMOLITION



REMOVE (E) NON-  
CONTRIBUTING ADDITIONS

Existing East Elevation



REMOVE (E) NON-  
CONTRIBUTING ADDITIONS

Existing South Elevation



REMOVE (E) NON-  
CONTRIBUTING ADDITIONS

Existing West Elevation

## General Notes

### ROOF

1. Rolled roofing appears to be in sound condition however it is assumed that the roofing will be replaced due to the installation of a structural shear diaphragm and insulation.
2. Original eave details included rolling the roofing membrane over the eave boards. The current detail has galvanized metal eave flashing. Due to the difficulty of maintaining the original detail, we recommend maintaining the current detail eave flashing detail. The current detail would also allow the addition of minimal thickness of rigid insulation on the roof decking without altering the eave profile significantly.

### EXTERIOR MASONRY

1. The exterior stone is in overall good condition with selected areas of cleaning, repointing and replacement required.
2. Replacement stone is to match existing surrounding stone in type, color, size and texture.
3. Repointing mortar to match existing portland cement mortar in color and composition.
4. General cleaning is to be done by light pressure wash with clear water.
5. Select areas that require more aggressive cleaning and paint removal will require mock-ups to determine gentlest effective method.

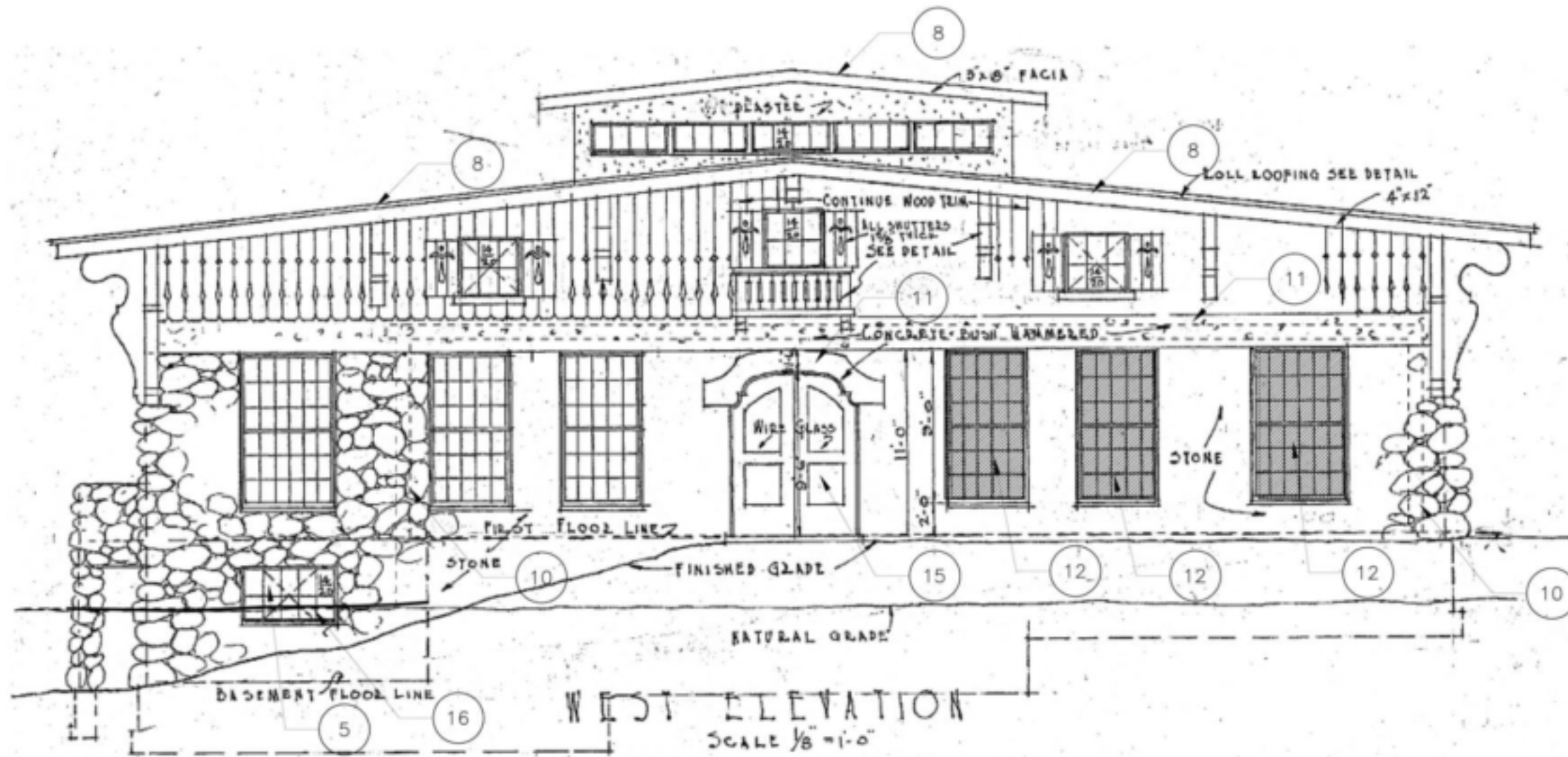
### METAL WINDOWS

1. The building contains two types of original steel sash windows in various configurations.
2. All windows should be tested for lead paint and asbestos before repair work is initiated.
3. New windows should match original windows in material, profile and scale.

### EXTERIOR WOOD TRIM

1. The exterior wood trim consists of the following assemblies:
  - a. 3 x8 Fascia at the monitor level. The original plans call out redwood, but upon inspection they appear to be a less rot resistant specie.
  - b. 4x12 Wood Fascia with 2x3 redwood moulding trim at the main roof.
  - c. 1x6 T&G soffit at the main roof.
  - d. Large decorative brackets laminated with 3" redwood stock.
  - e. Decorative wood frieze of 3x10 redwood boards.
  - f. False balcony of 2x redwood material.
2. Typically the wood elements that are protected by the broad overhangs are in good condition.
3. The fascia boards are in fair to poor conditions depending on exposure and species.
4. New wood replacements are to be primed and painted to match existing wood trim color.

GRAND CANYON RIVER HERITAGE MUSEUM  
LAUNDRY BUILDING REHABILITATION WEST ELEVATION



SCALE OF FEET



TYPICAL FASCIA REPLACEMENT

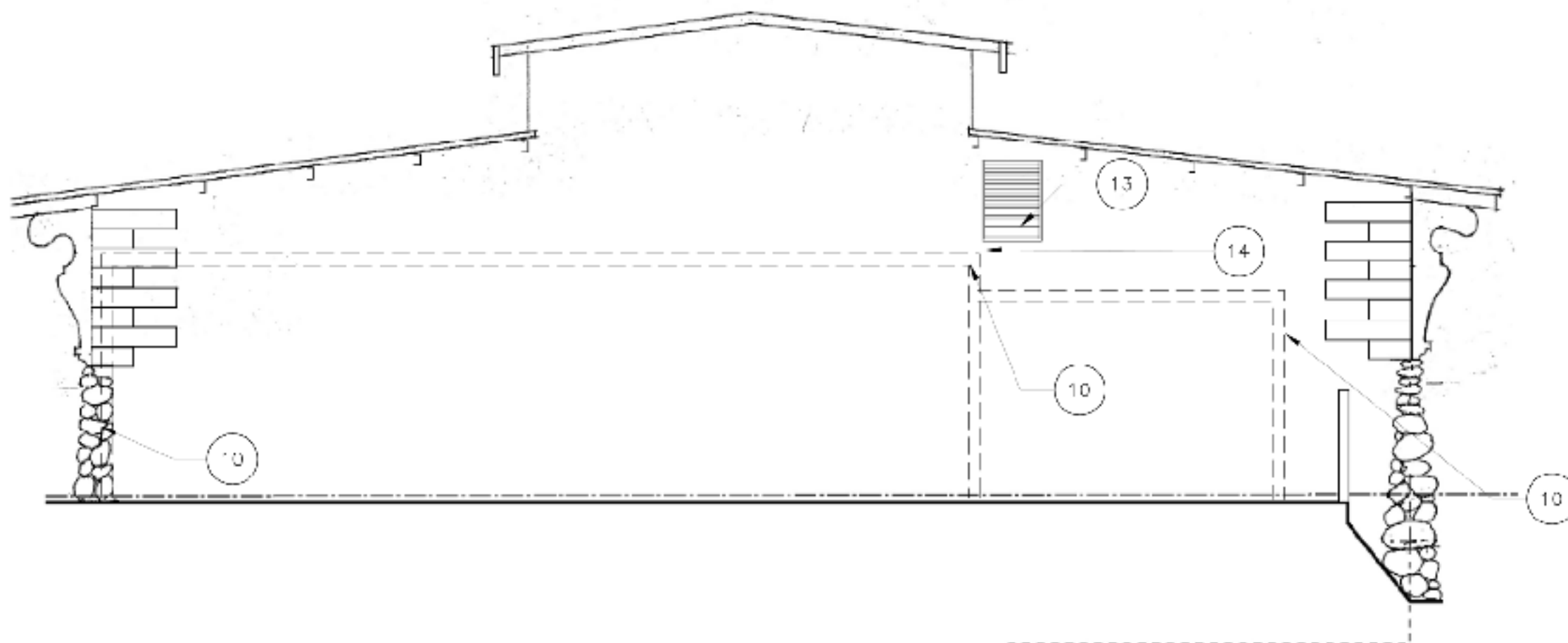


REGRAIDING AT WINDOW

KEY NOTES

1. Existing stone stair to be cleaned, partially rebuilt, repointed and structurally braced.
2. Replace non-original windows with new windows or relocated original windows.
3. Replace deteriorated stone with new stone to match. (Replace approximately 50 S.F. throughout.)
4. New galvanized iron gutter and downspout as per original detail and layout.
5. Repair and reglaze window.
6. Treat exposed rebar with rust inhibitor and cover with mortar to match adjacent mortar color and composition.
7. Remove existing metal louver and reglaze window to match adjacent windows.
8. Replace existing fascia board with new wood fascia of rot resistant specie to match size and surface texture of original.
9. Reconstruct door and transom to match original.
10. Clean and repair stone surfaces where non-original partitions are removed.
11. Remove mastic from concrete surface.
12. Install new window in existing opening to match original window in size, profile and material.
13. Remove existing louver and patch wall to match surrounding concrete.
14. Repair crack in concrete wall as per structural requirements.
15. Reconstruct new wood glazed door to match original.
16. Regrade to remove soil at window and allow positive drainage away from building.

GRAND CANYON RIVER HERITAGE MUSEUM  
 LAUNDRY BUILDING REHABILITATION EAST ELEVATION



PART OF EAST ELEVATION

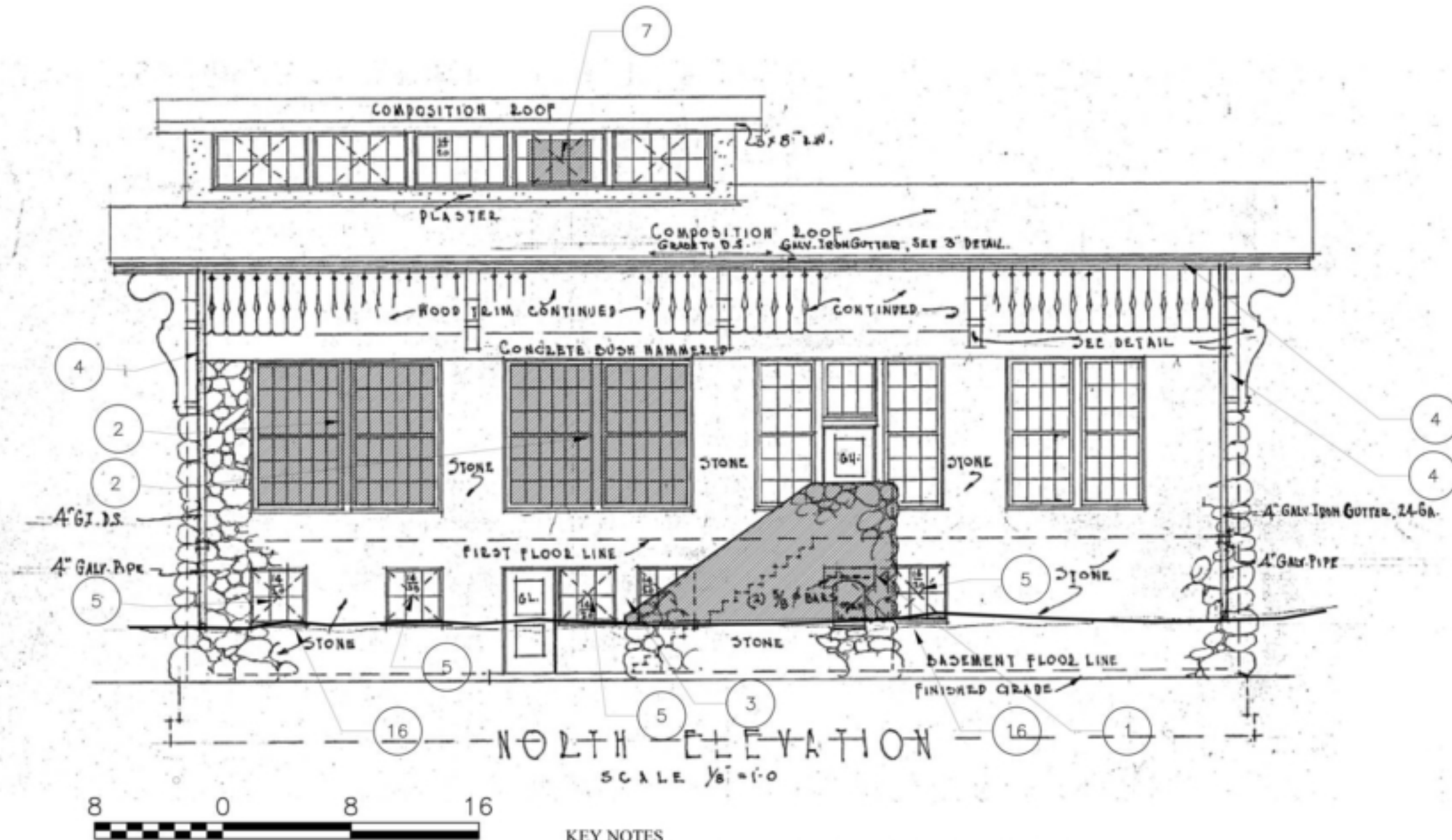
SCALE 1/8" = 1'-0"



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GRAND CANYON RIVER HERITAGE MUSEUM  
LAUNDRY BUILDING REHABILITATION NORTH ELEVATION



STONE REPLACEMENT

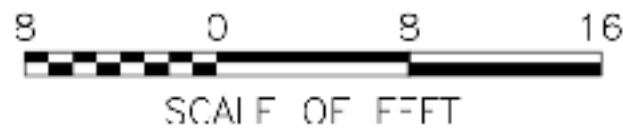
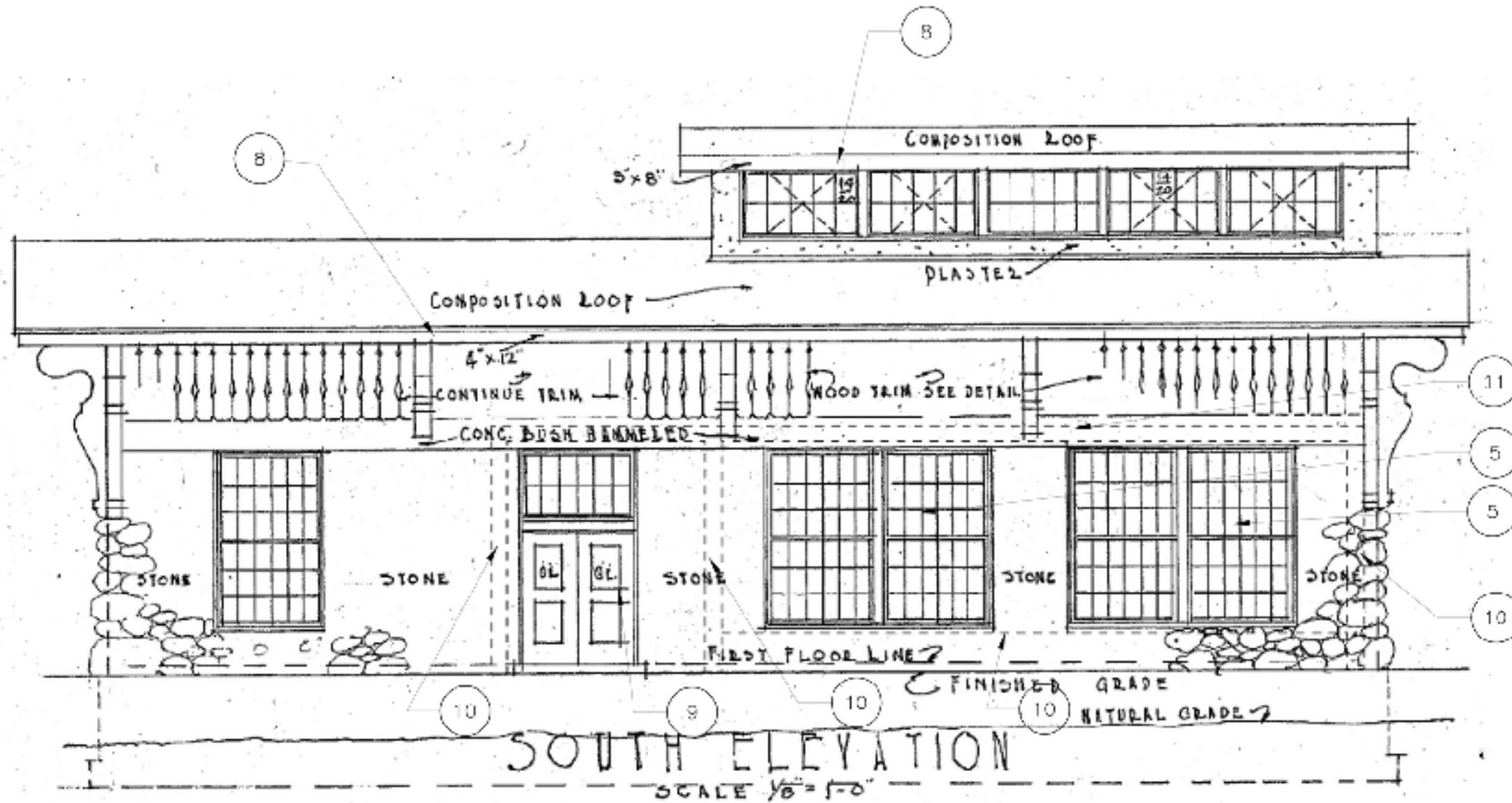


STAIR REPAIRS

KEY NOTES

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15. Reconstruct new wood glazed door to match original.
16. Regrade to remove soil at window and allow positive drainage away from building.

GRAND CANYON RIVER HERITAGE MUSEUM  
 LAUNDRY BUILDING REHABILITATION SOUTH ELEVATION



KEY NOTES

1. Existing stone stair to be cleaned, partially rebuilt, repointed and structurally braced.
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3. Replace deteriorated stone with new stone to match. (Replace approximately 50 S.F. throughout.)
4. New galvanized iron gutter and downspout as per original detail and layout.
5. Repair and reglaze window.
6. Treat exposed rebar with rust inhibitor and cover with mortar to match adjacent mortar color and composition.
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